

KEY PLAN NOT TO SCALE

**SURVEY INFORMATION:**

SURVEY INFORMATION IS TAKEN FROM A COMPILED PLAN OF SURVEY ENTITLED: PART OF LOTS 2 AND 3 REGISTERED PLAN 49 TOWN OF NEWMARKET REGIONAL MUNICIPALITY OF YORK PREPARED BY: YOUNG & YOUNG SURVEYING INC., OLS 2 HOLLAND DRIVE, UNIT 5 BOLTON, ON L7E 1E1 DATED: JUNE 2010

**PROPERTY AREA:**

VALLEY LANDS	28 477 SM (306,526 SF)
BUFFER ZONE	2 114 SM ( 22,755 SF)
NET DEVELOPMENT AREA	19 742 SM (212,503 SF)
PROPOSED ROAD WIDENING	589 SM ( 6,340 SF)
TOTAL PROPERTY AREA	50 922 SM (548,124 SF)

**PROJECT INFORMATION:**

**PARCEL A:**

PROPOSED UNITS: 154  
 NET LOT AREA: 8,152.30 SM (87,750 SF; 2.01 AC)  
 PROPOSED DENSITY: 189 UNITS/HECTARE  
 GROSS FLOOR AREA: 1,805.34 SM (19,432 SF)  
 GROSS FLOOR AREA PER LEVEL: 1,362.18 SM (14,662 SF)  
 PROPOSED FLOORS: 12  
 TOTAL G.F.A.: 16,789.32 SM (180,719 SF)  
 PROPOSED FLOOR SPACE INDEX: 2.06

CONDO UNIT TYPE SCHEDULE	# OF UNITS
GROUND FLOOR	0
FLOORS 2-12 (TYP. 14 UNITS/FLOOR)	
8 X 1BR UNITS 69.67-77.11 SM (750-830 SF)	88
6 X 2BR UNITS 92.90-120.77 SM (1,000-1,300 SF)	66
TOTAL NUMBER OF UNITS	154

**PARKING:**

VISITOR PARKING REQUIRED: 0.25 X NUMBER OF UNITS= 39 SPACES  
 VISITOR PARKING PROVIDED: 39 SPACES  
 RESIDENT PARKING REQUIRED: 1.5 SPACES/UNIT= 231 SPACES  
 RESIDENT PARKING PROVIDED: 231 SPACES TOTAL  
 (2 LEVELS UNDERGROUND GARAGE: 218 SPACES;  
 ON GRADE: 11 SPACES)

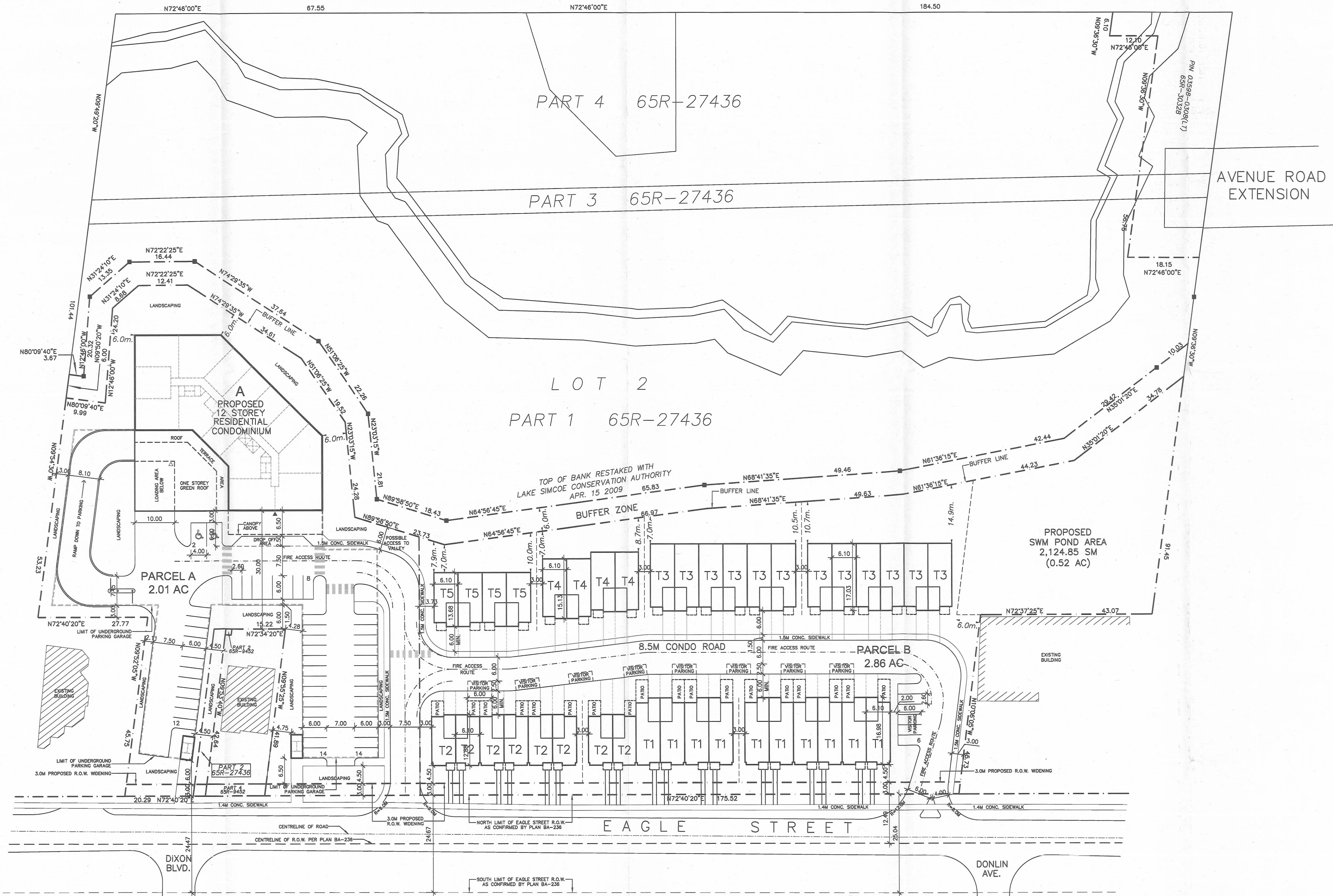
**PARCEL B:**

PROPOSED TOWNHOUSES: 38  
 NET LOT AREA: 11,591.28 SM (124,767 SF; 2.86 AC)  
 PROPOSED DENSITY: 33 UNITS/HECTARE

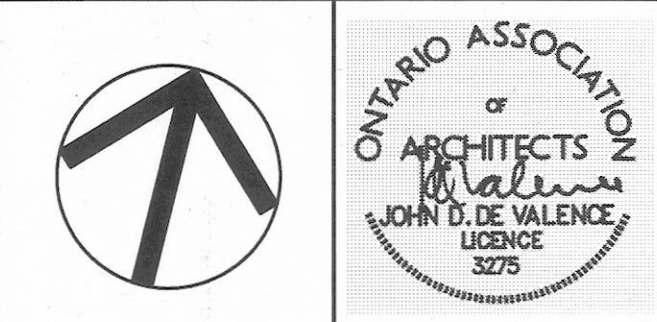
UNIT TYPE	PROPOSED UNIT SIZE	# OF UNITS
T1	148.65-157.93 SM (1,600-1,700 SF)	10
T2	111.48 SM (1,200 SF)	8
T3	157.93-167.22 SM (1,700-1,800 SF)	12
T4	139.35-148.65 SM (1,500-1,600 SF)	4
T5	120.77-130.06 SM (1,300-1,400 SF)	4
TOTAL NUMBER OF UNITS		38

**PARKING:**

VISITOR PARKING REQUIRED: 0.25 X NUMBER OF UNITS= 10 SPACES  
 VISITOR PARKING PROVIDED: 14 SPACES  
 RESIDENT PARKING REQUIRED: 2 SPACES/UNIT= 76 SPACES  
 RESIDENT PARKING PROVIDED: 2 SPACES/UNIT= 76 SPACES



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2	OPA/ZONING	FEB 25/11
1	REVISED	AUG 12/10
NO:	REVISIONS:	ISSUED:

NOTE: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The contractor is to verify all dimensions and conditions on the project and to report any discrepancies to the Architect prior to commencing work. These drawings are not to be used for construction purposes unless indicated on "issued for construction".

CLIENT:  
**MILLFORD DEVELOPMENTS**

PROJECT:  
**PROPOSED RESIDENTIAL DEVELOPMENT  
 55 EAGLE STREET  
 NEWMARKET, ON**

SHEET TITLE:  
**SITE PLAN**

PROJECT NO. 2524	DATE: SEE REV.
SCALE: 1:500	SHEET NO: SP1
DRAWN: RS	
CHECKED: JdeV	
FILE NO. 2524	