

TOWN OF NEWMARKET

**OLD MAIN
STREET
TERTIARY PLAN**

**PUBLIC OPEN HOUSE
AND DESIGN WORKSHOP**

APRIL 12, 2018

SvN



MEETING AGENDA



7:00pm	Doors Open
7:00pm - 7:30pm	Sign-In and Display Board Viewing
7:30pm - 7:45pm	Presentation
7:45pm - 8:45pm	Workshop Exercises
8:45pm - 9:00pm	Reporting Back & Closing Remarks

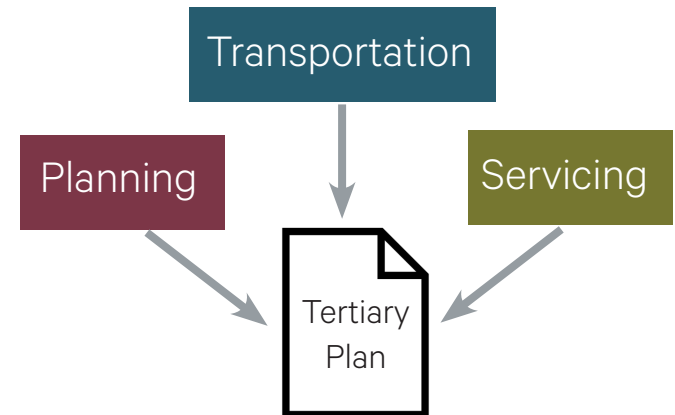
PRESENTATION OUTLINE

1. Introduction
2. Walking Tour
3. Background Study
4. Draft Vision Statement
5. Draft Guiding Principles
6. Testing and Evaluating
7. Draft Land Use Concepts
8. Draft Streetscape Cross-Section Concepts
9. Workshop Exercises
10. Reporting Back
11. Concluding Remarks

INTRODUCTION

Study Overview

- Newmarket is poised for growth. The majority of this will occur through the redevelopment of the Davis Drive and Yonge Street corridors.
- Other areas of the Town are facing development interest.
- One of these areas is the Old Main Street Neighbourhood.
- The Old Main Street Tertiary Plan Study will provide direction on the possibilities of redevelopment along Old Main Street.
- The Plan will incorporate a detailed planning, transportation and servicing review and analysis of relevant background information, as well as a robust public and stakeholder consultation process.



INTRODUCTION

Study Area and Context

- Includes all properties which front onto either side of Old Main Street, between Bexhill Road and Main Street North.
- Considers all properties bounded by Bexhill Road, Main Street North, Dover Crescent, and St. John Cemetery.
- The properties at 172 to 178 Old Main Street are included in the study area, but are exempt from the Interim Control By-law.



INTRODUCTION

Study Process

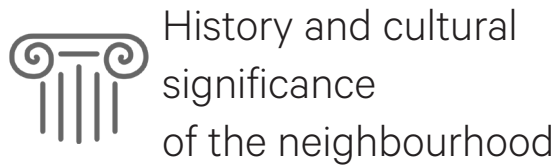


WALKING TOUR - October 19, 2017



WALKING TOUR

Key Findings



Rural village-like neighbourhood character



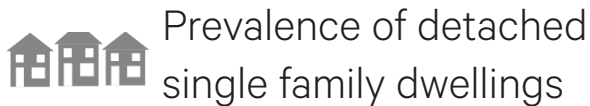
Peaceful, quiet, family-friendly environment



Eclectic variety of dwellings



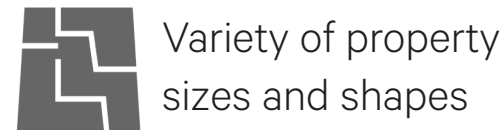
Cottage-like character



Variety of property sizes and shapes



Variety of front, side, and rear yard setback conditions



Variety of on-site parking conditions

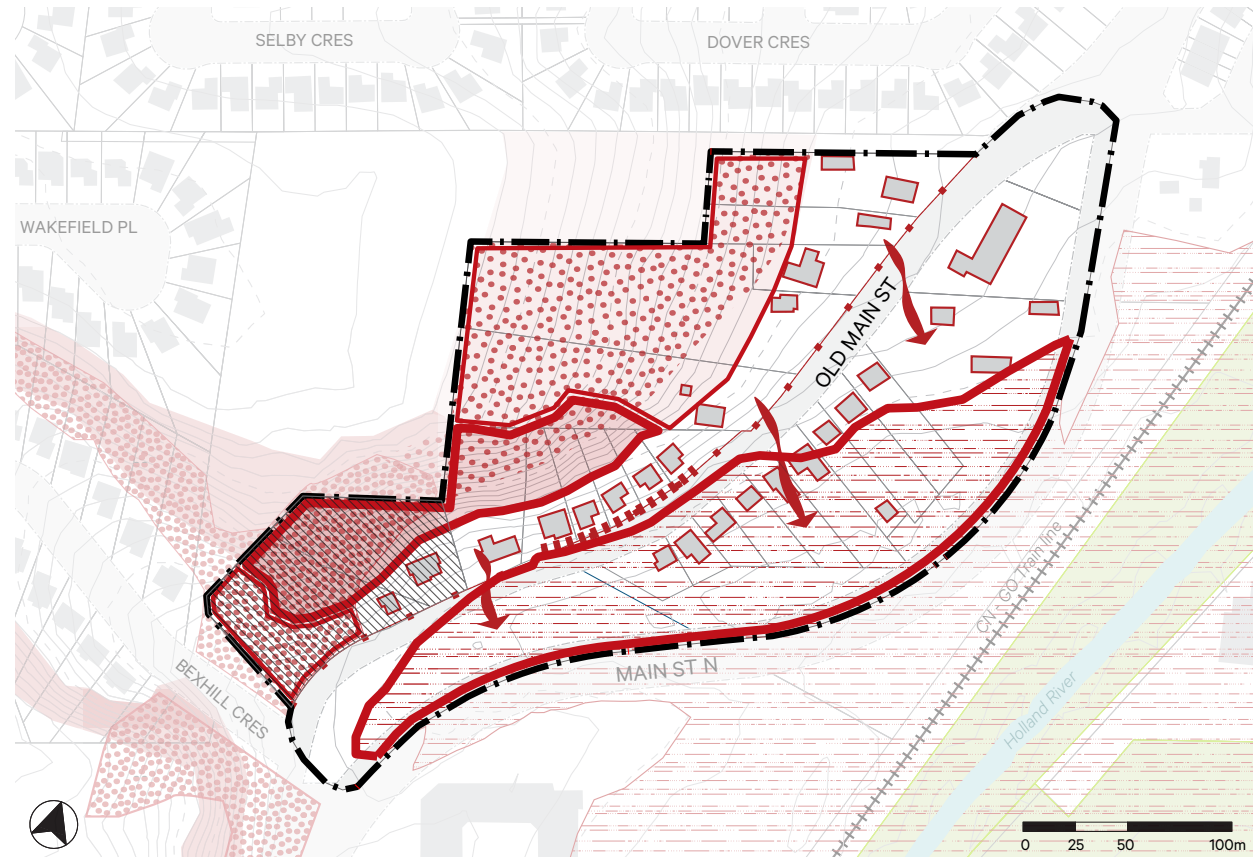


Central gathering/open space

BACKGROUND STUDY

Key Constraints

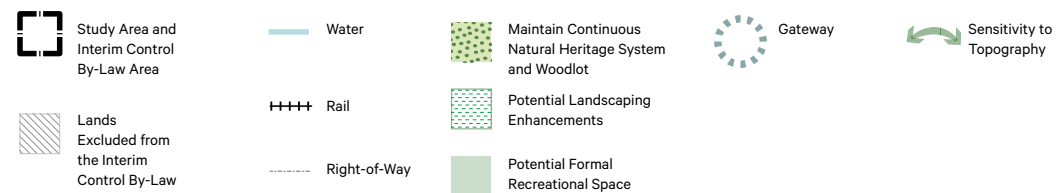
- The adjacent map summarizes key constraints related to natural heritage features, streetscape design, and transportation and servicing infrastructure.



BACKGROUND STUDY

Parks, Open Space and Natural Heritage System

- Protect significant natural heritage features and local wildlife habitat.
- Establish appropriate buffers.
- Respect existing topographical conditions.
- Enhance the open space network.
- Establish gateway features.



BACKGROUND STUDY

Site and Building Design, and Architectural Character

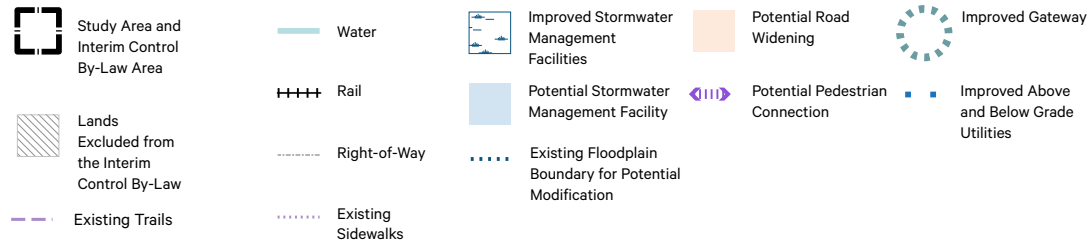
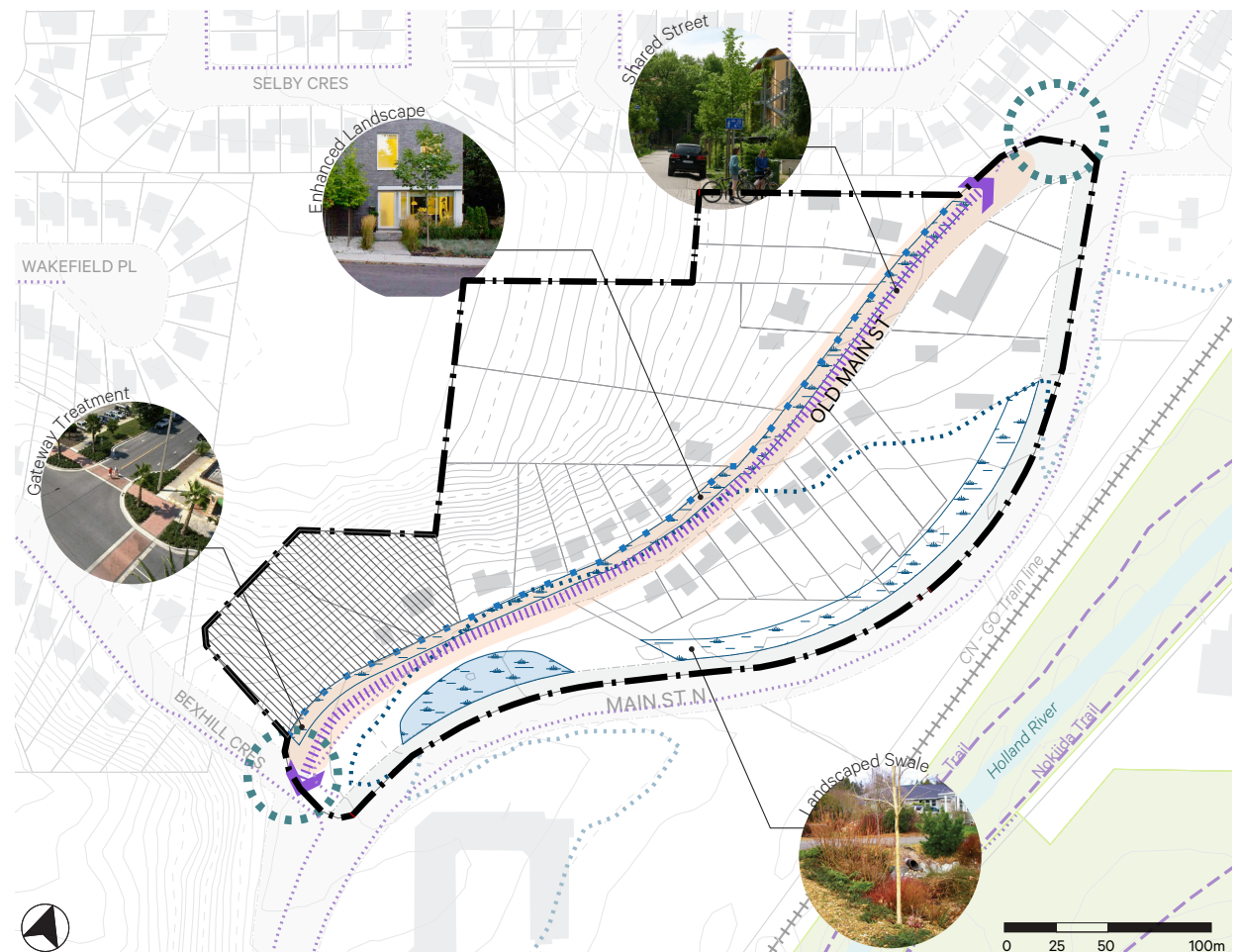
- Respect distinct community character through dimensioning and orientation of new lots, organization of private landscaping and amenity space, layout and design of driveways, and massing and articulation of new buildings.



BACKGROUND STUDY

Streetscape Design, Transportation and Servicing

- Respect distinct streetscape character.
- Upgrade existing servicing infrastructure.
- Improve stormwater management.
- Establish gateway features.



DRAFT VISION STATEMENT



Porous pavement in residential driveway



Landscape buffer



Townhouses

The Old Main Street Neighbourhood will **retain its rural, cottage-like and scenic natural character, while accommodating contextually-sensitive development.** Future development will be planned and designed in a manner which:

- **respects the existing natural heritage system** and topographical conditions;
- **enhances existing landscaping** and open space features, while **introducing new and improved stormwater management facilities;**
- **facilitates the establishment of new pedestrian connections, gateway features,** and the enhancement of Old Main Street;
- **respects prevailing site, building and architectural characteristics.**

DRAFT GUIDING PRINCIPLES



Integrate Slope

Respect the Natural Heritage System and Existing Topography



Landscape Swale

Enhance Landscaping and Open Space Features



Gateway Treatment

Establish Pedestrian Connections and Gateway Features



Meandering Character

Enhance the Design of Old Main Street



Integrate Nature

Respect Prevailing Site Design Characteristics



Cottage-like Character

Respect Prevailing Building Design and Architectural Characteristics



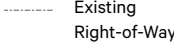



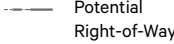

TESTING AND EVALUATING

Detached Dwellings (7 Additional Units)



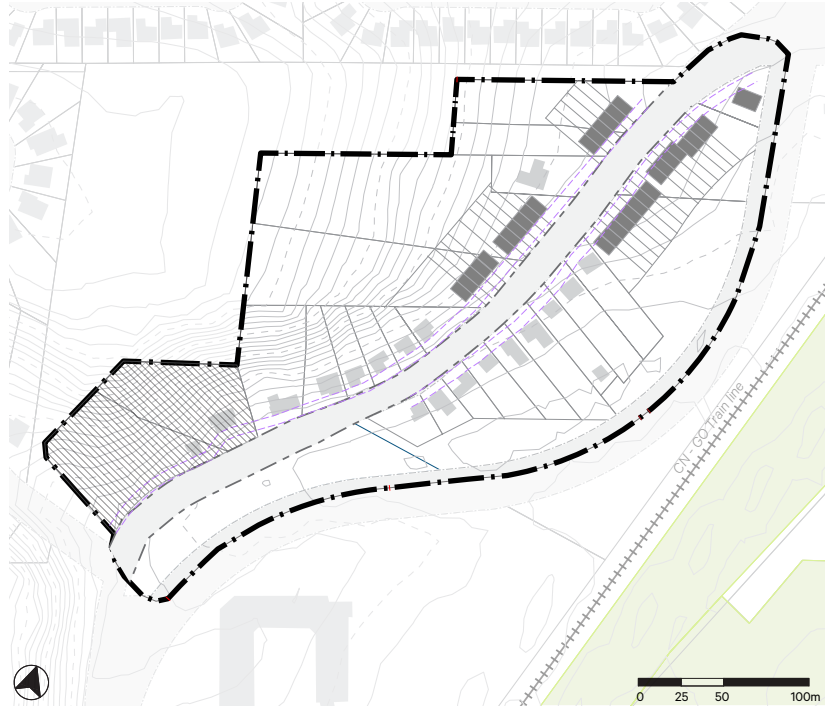
Semi-Detached Dwellings (15 Additional Units)



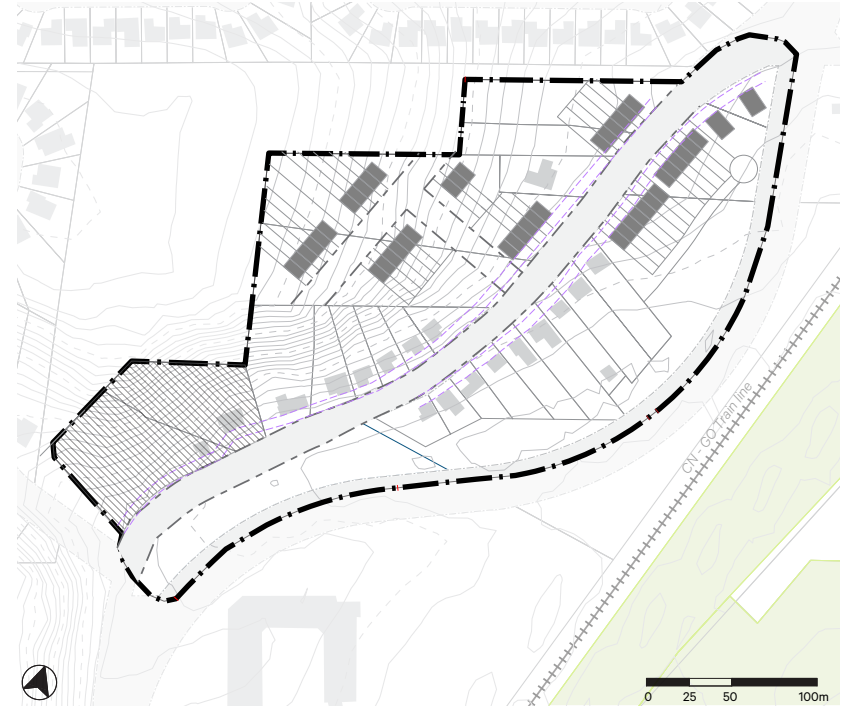
- | | | | | | | | |
|---|--|---|-------|---|------------------------|---|-------------------------|
|  | Study Area and Interim Control By-Law Area |  | Water |  | Existing Right-of-Way |  | Existing Building |
|  | Lands Excluded from the Interim Control By-Law |  | Rail |  | Potential Right-of-Way |  | Potential Redevelopment |



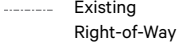



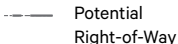

TESTING AND EVALUATING

Townhouses (28 Additional Units)



Townhouses (41 Additional Units)



- | | | | | | | | |
|---|--|---|-------|---|------------------------|---|-------------------------|
|  | Study Area and Interim Control By-Law Area |  | Water |  | Existing Right-of-Way |  | Existing Building |
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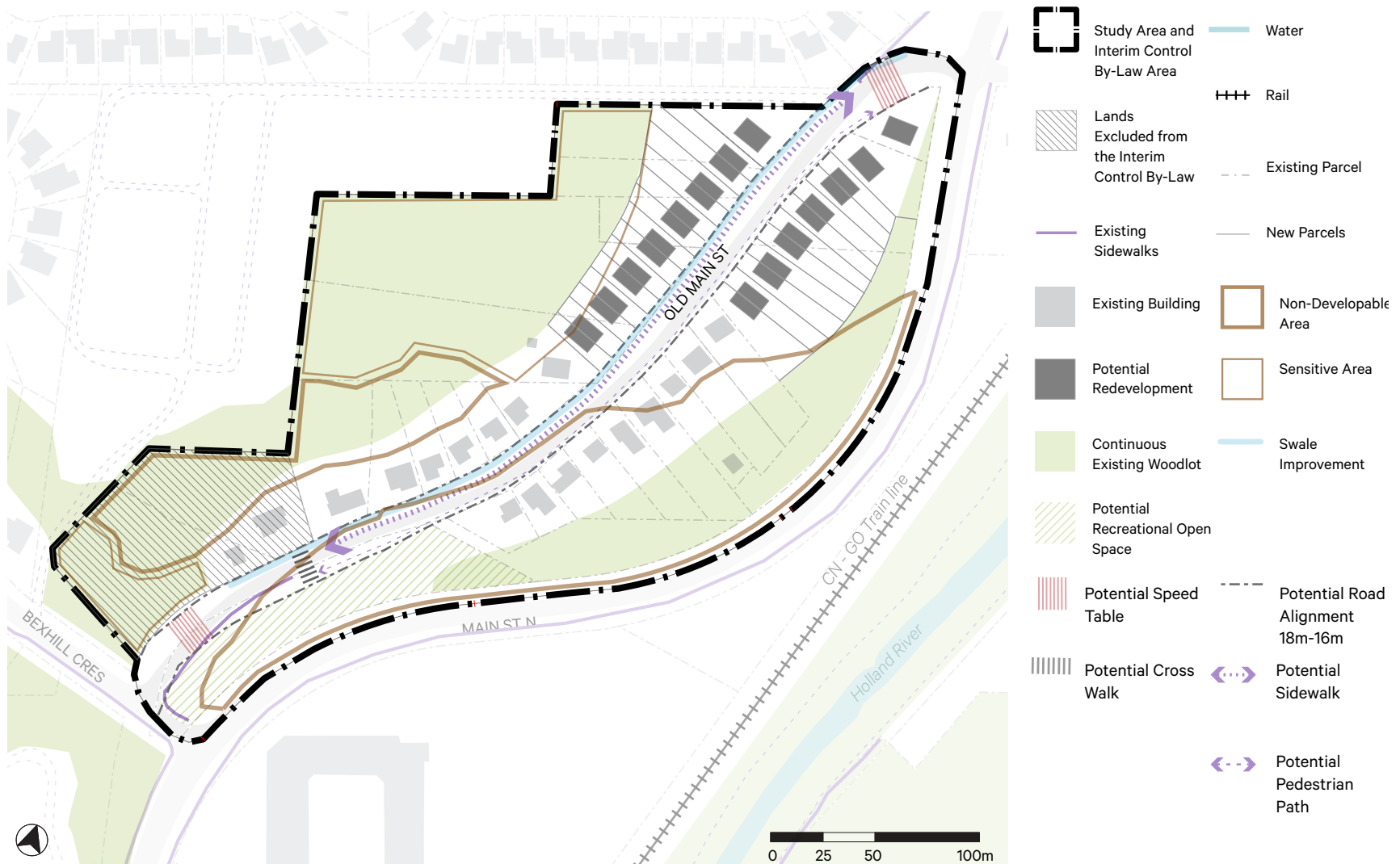
DRAFT CONCEPT PLAN OPTIONS

Minor Development and Traffic Calming Option (8 Additional Primary Units)



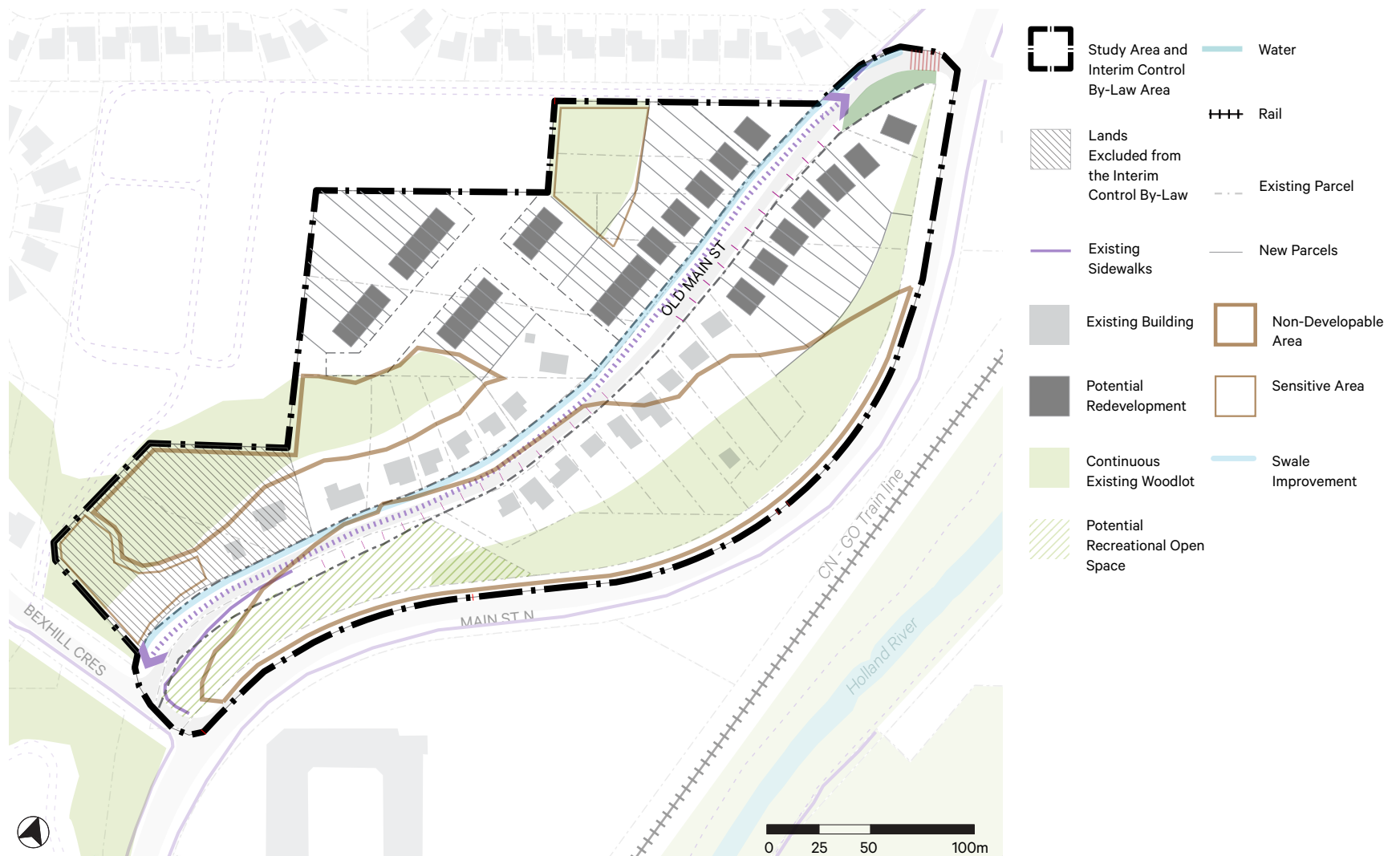
DRAFT CONCEPT PLAN OPTIONS

Moderate Development and Traffic Calming Option (21 Additional Primary Units)



DRAFT CONCEPT PLAN OPTIONS

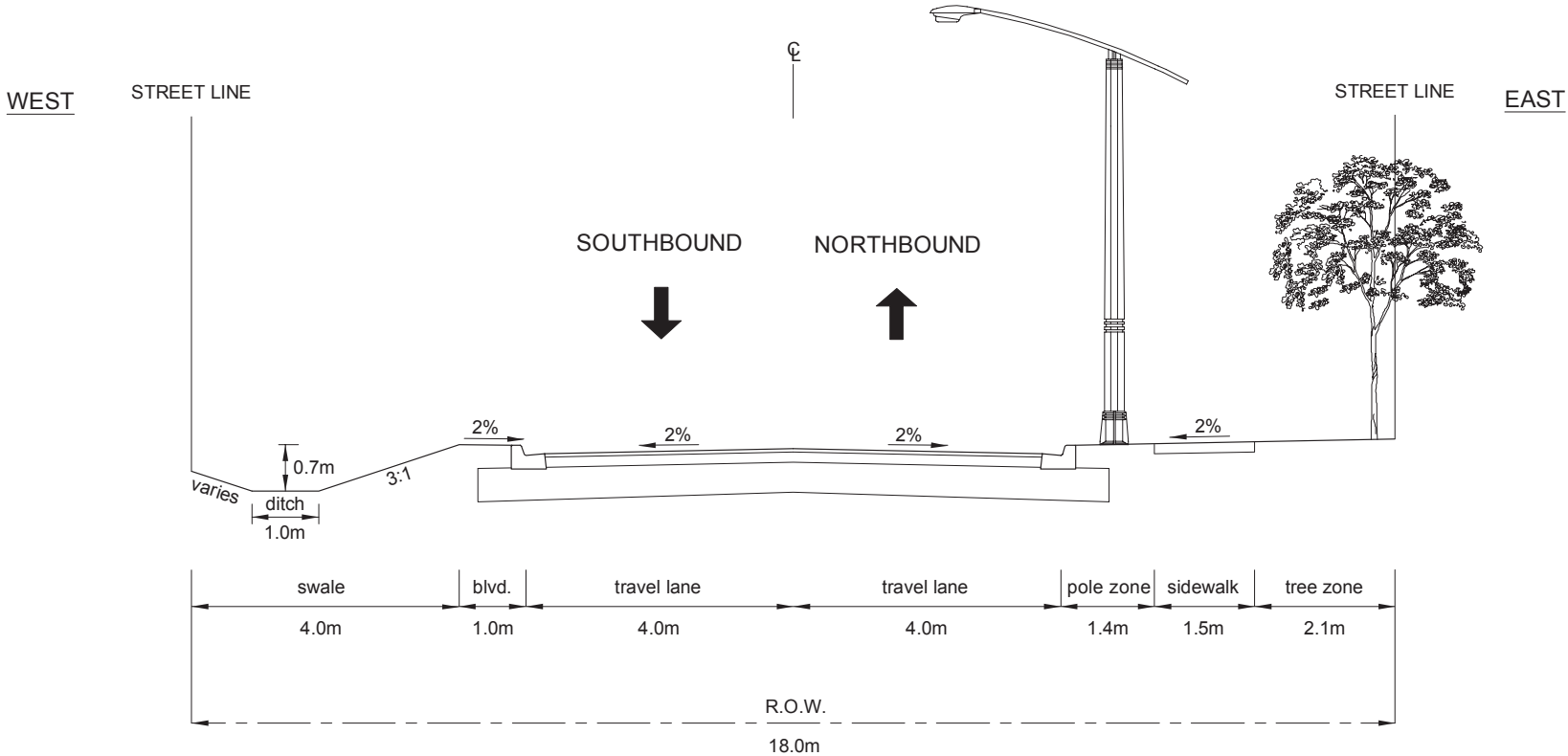
Significant Development and Traffic Calming Option (42 Additional Primary Units)



DRAFT STREETSCAPE AND CROSS-SECTION CONCEPTS

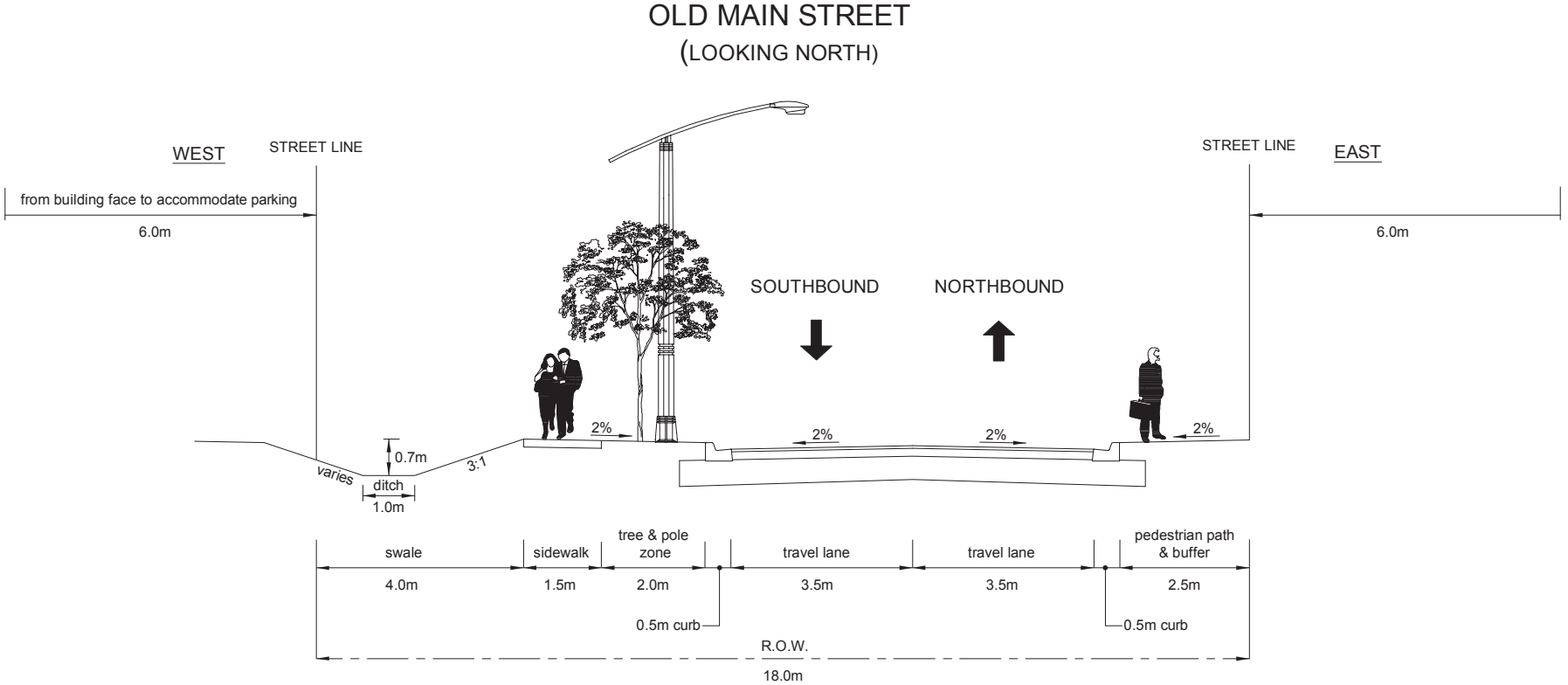
Swale on West Side / Sidewalk, Trees, and Lights on East Side

OLD MAIN STREET (LOOKING NORTH)



DRAFT STREETSCAPE AND CROSS-SECTION CONCEPTS

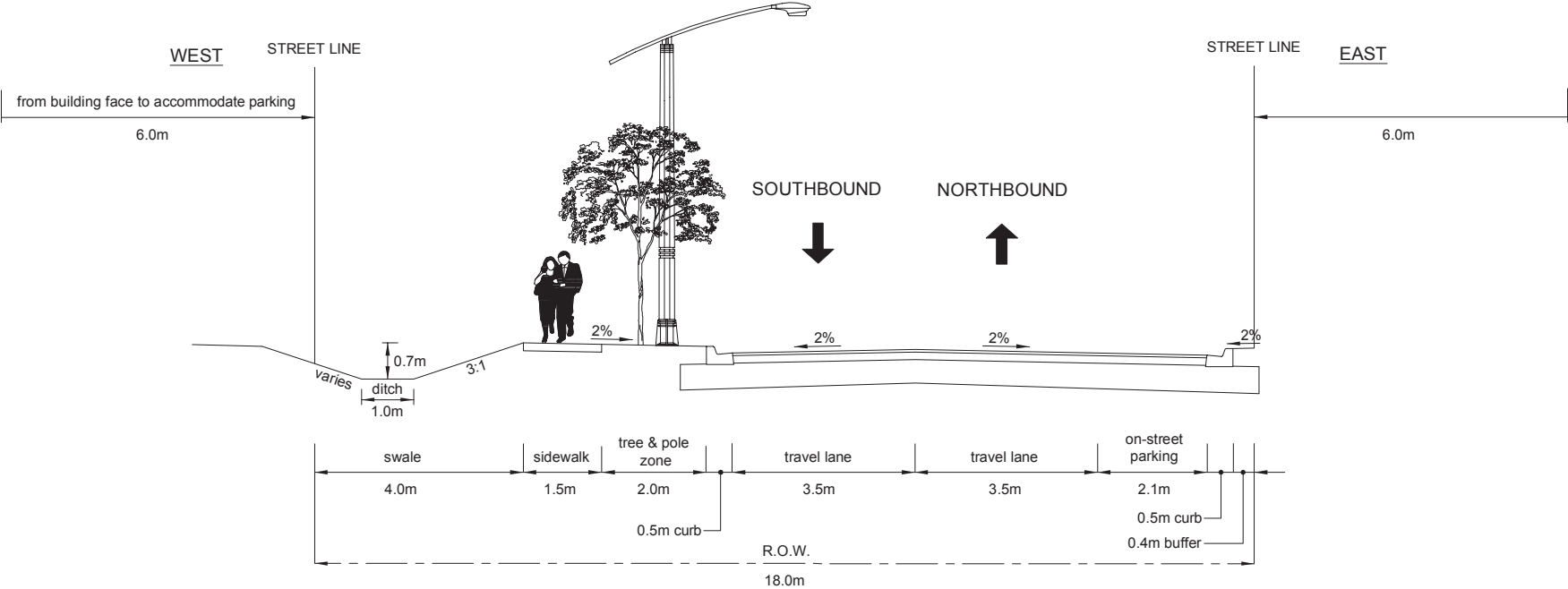
Sidewalk, Trees, Lights and Swale on West Side / Landscape Buffer on East Side



DRAFT STREETSCAPE AND CROSS-SECTION CONCEPTS

Sidewalk, Trees, Lights and Swale on West Side / On-Street Parking on East Side

OLD MAIN STREET (LOOKING NORTH)



WORKSHOP EXERCISES - KEY QUESTIONS

Instructions

- Review the instructions.
- Assign a note-taker to document group discussions and key ideas, and to present back the group's findings at the end of the meeting.
- Assign a time keeper to ensure that each exercise is completed within the allotted time frame.
- Hand in your worksheets at the end of the meeting.



REPORTING BACK

Note-takers, please share your
table's comments



CONCLUDING REMARKS

Next Steps

- Public Consultation Summary Report (Early May, 2018)
- Draft Tertiary Plan (Early June, 2018)
- Public Consultation Session #3 (Late August, 2018)

THANK YOU!